

SCHEDULE OF DIMENSIONAL REQUIREMENTS  
ZONE R-20 DMR

	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA:	5 ACRES	14.89 ACRES
MINIMUM LOT FRONTAGE:	300'	772.57'
MAXIMUM BUILDING HEIGHT:	40'	33'
MAXIMUM BUILDING COVERAGE:	25%	9.9%
*UNIT DENSITY: (5000 SF/UNIT)	86	86

\*SEE ART. X.4.A.4.D REQUIRING SPECIAL DIMENSIONAL EXCEPTIONS BY THE COMMISSION

AFFORDABLE HOUSING UNITS (20%) – ART. X SEC. 6.K	
TWO BEDROOM UNITS – 1200 SQ.FT. LIVABLE AREA OR LESS	
UNITS IN 2-FAMILY DWELLINGS	0
MULTI FAMILY DWELLINGS	18
ACCESSIBLE HOUSING UNITS	4 MIN.

NOTE: THE DEVELOPER WILL COORDINATE WITH THE MANSFIELD HOUSING AUTHORITY AND OTHER STATE AND REGIONAL AGENCIES THAT PROMOTE AFFORDABLE HOUSING OPPORTUNITIES TO MARKET THE AFFORDABLE UNITS TO LOW AND MODERATE INCOME FAMILIES.

UNIT DENSITY CALCULATION (ART.X.A.5.B)  
TOTAL SITE AREA = 14.89 ACRES (648,302 SQ.FT.)  
AREA OF SLOPES > 15% = 1.97 ACRES (85,085 SQ.FT.)  
AREA OF WETLANDS = 2.89 ACRES (125,828 SQ.FT.)  
641,302 – 85,085 – 125,828 = 430,389 SQ.FT.  
430,389 SQ.FT./5000SF/UNIT = 86.07 UNITS

PARKING-MEADOWBROOK GARDENS-(ART X.A.5.B)  
PARKING REQUIRED (36 UNITS x 2 SPACES/UNIT) = 72  
REGULAR PARKING SPACES PROVIDED – 73  
HANDICAP PARKING SPACES PROVIDED – 4  
TOTAL PARKING SPACES PROVIDED – 77

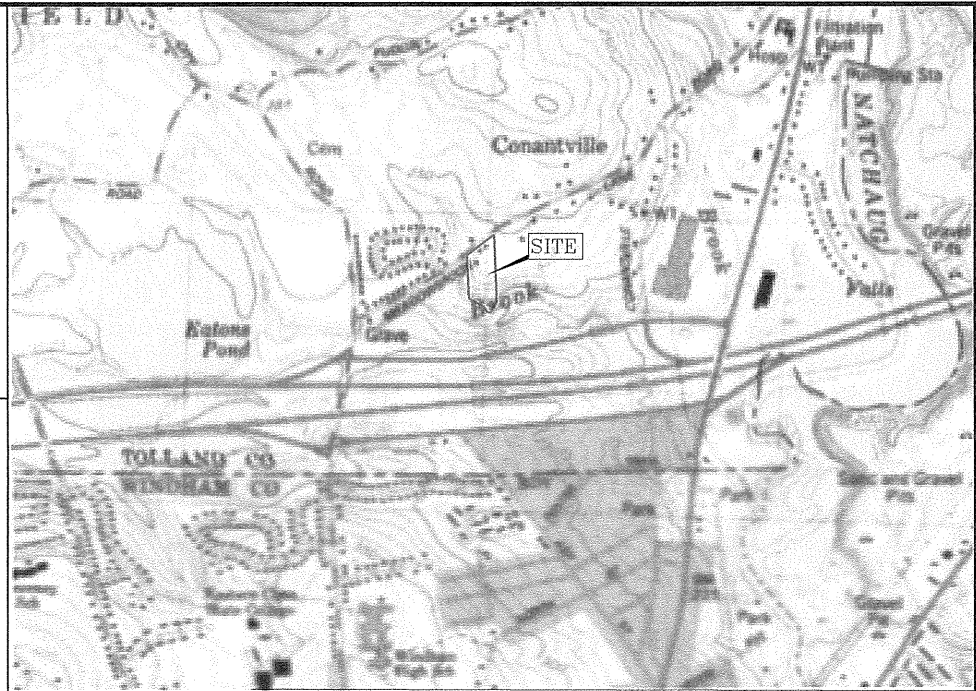
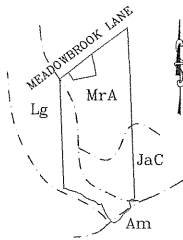
SOIL MAP

SCALE : 1" = 400'

--- SOILS LEGEND ---

SYMBOL DESCRIPTION  
Am ALLUVIAL LAND  
JaC JAFFREY GRAVELLY SANDY LOAM AND LOAMY SAND, 3 TO 15 PERCENT SLOPES  
Lg LEICESTER-RIDGEBURY-WHITMAN VERY STONY COMPLEX  
MrA MERRIMAC FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES

--- SOILS DATA AS PER : "SOIL SURVEY, TOLLAND COUNTY, CONNECTICUT,  
UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL  
CONSERVATION SERVICE"



LOCATION MAP

SCALE : 1" = 1000'

MEADOWBROOK GARDENS

91-93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT 06250

OWNER & APPLICANT

UNIGLOBE INVESTMENT, LLC  
73 MEADOWBROOK LANE  
MANSFIELD CENTER, CT 06250

JANUARY 8, 2016

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APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN DATE  
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN DATE  
APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR DATE  
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

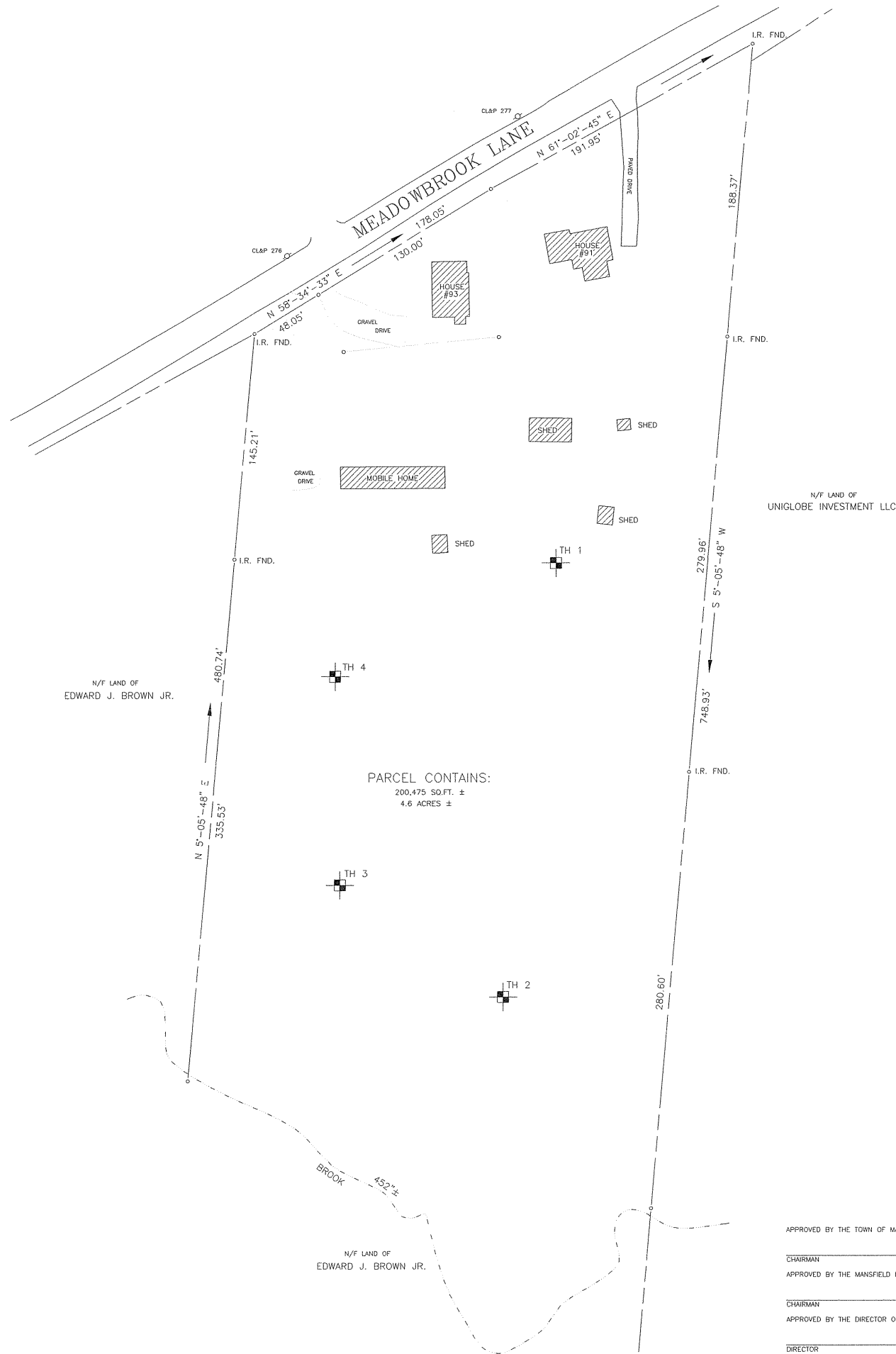
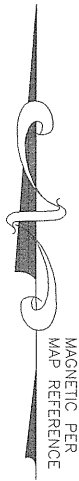
DIRECTOR DATE

DATUM ENGINEERING & SURVEYING, LLC  
132 CONANTVILLE ROAD  
MANSFIELD CENTER, CONNECTICUT 06250

GERALD HARDISTY, P.E.  
203 BOSTON HILL ROAD  
ANDOVER, CONNECTICUT 06232

JOHN ALEXOPOULOS, ASLA  
16 STORRS HEIGHTS ROAD  
STORRS, CONNECTICUT 06268

JOB NO. 215049  
SHEET 1 OF 10



MAP REFERENCE:

"PROPERTY SURVEY OF 91 & 93 MEADOWBROOK LANE MANSFIELD, CT PREPARED FOR JACK YANG" SHEET NO. 1 OF 1 SCALE: 1"=40' JANUARY 8, 2015 PROJECT NO. 14-079 PREPARED BY J DEMPSEY ASSOCIATES PROFESSIONAL LAND SURVEYORS 76 BRAINARD ST. NEW LONDON, CT.

TEST HOLE DATA

OBSERVED BY GERRY HARDISTY, P.E. ON 12/30/15

TEST HOLE 1

- 0- 5" TOPSOIL
- 5-12" BROWN FINE SANDY LOAM
- 12-22" LT. BROWN FINE SAND W/3" BAND AT BOTTOM
- 22-36" YELLOW/BROWN MED SAND
- 36-57" REDDISH COARSE SAND & GRAVEL
- 57-77" YELLOW/BROWN MED/COARSE SAND
- VERY DISTINCT LAYERS

TEST HOLE 2

- 0-20" DARK BROWN FINE SANDY LOAM
- 20-44" TAN VERY FINE SILTY SAND
- 44-60" LAYERS OF FINE SAND & VERY FINE SAND
- STRIPPED ORANGE AND GRAY

60-84" COARSE AND VERY COARSE SAND & GRAVEL  
NOTE: LAYER OF VERY FINE SAND IN A SLOPE GETTING DEEPER TOWARDS THE EAST, BETTER MATERIAL ON THE WEST END.

TEST HOLE 3

- COARSE SAND AND GRAVEL TOP TO BOTTOM

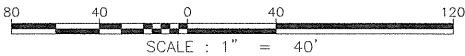
TEST HOLE 4

- 0-24" TRACE TOPSOIL TO DARK BROWN FINE SANDY LOAM
- 24-46" REDDISH/BROWN FINE SAND TO SILT
- 46-60" VERY COARSE SAND & GRAVEL
- 60-72" CLEAN MED-COARSE SAND

BOUNDARY SURVEY  
PREPARED FOR  
**UNIGLOBE INVESTMENT, LLC.**  
91 & 93 MEADOWBROOK LANE  
MANSFIELD, CONNECTICUT  
SCALE: 1" = 40'      DATE: JANUARY 7, 2016

LEGEND

- PROPERTY LINE
- ABUTTER PROPERTY LINE
- EDGE PAVEMENT
- EDGE GRAVEL
- IRON ROD FOUND
- UTILITY POLE
- TEST HOLE



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

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APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION MAP BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS 7-2". THIS SURVEY AND MAP IS INTENDED TO ENABLE DETERMINATION OF COMPLIANCE OR NON-COMPLIANCE WITH APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
EDWARD PELLETER, L.S. #14203  
ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

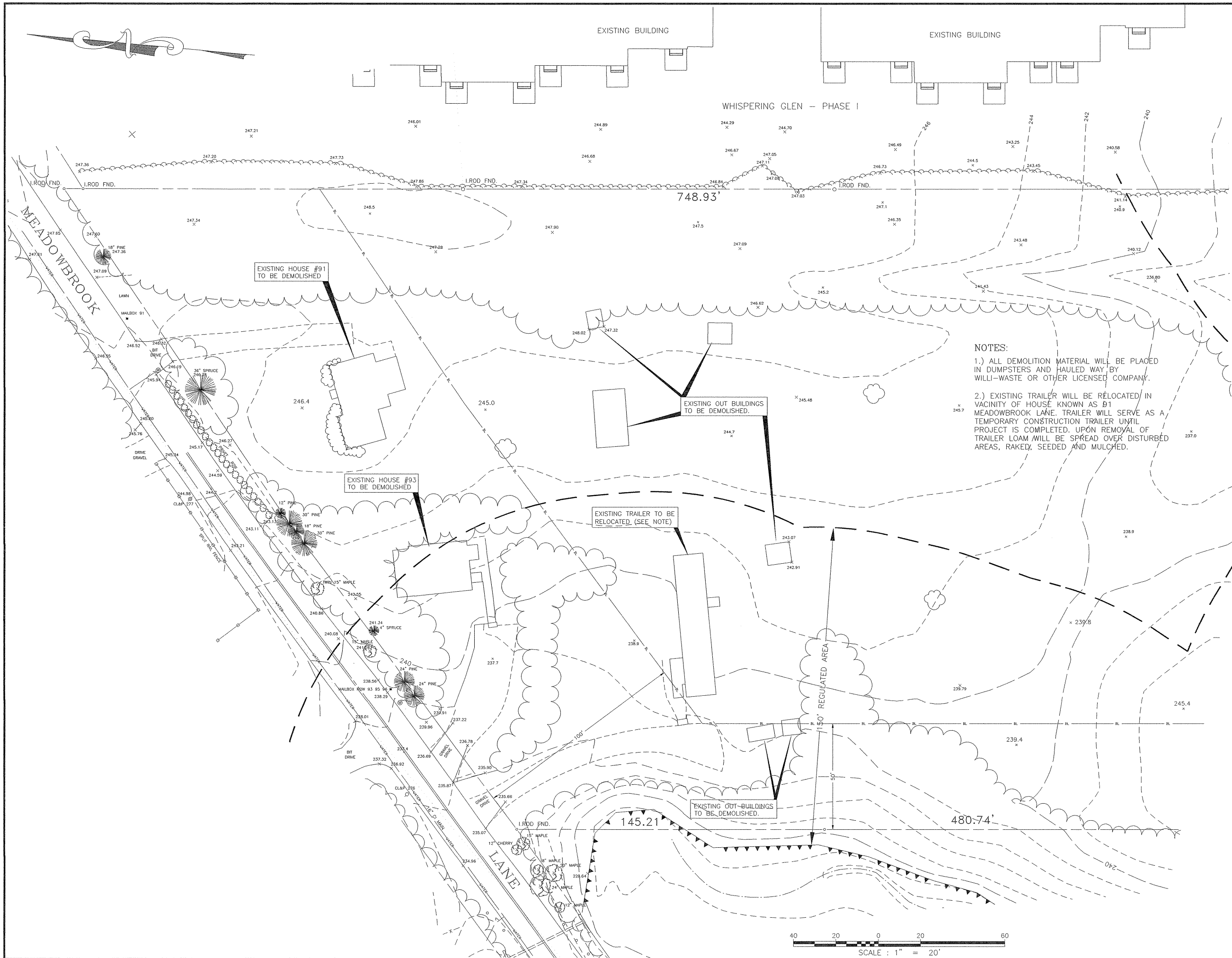
**D  
A  
T  
U  
M**

ENGINEERING & SURVEYING, LLC

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SHEET 2 OF 10

CHECKED BY: \_\_\_\_\_ CORRECTIONS BY: \_\_\_\_\_

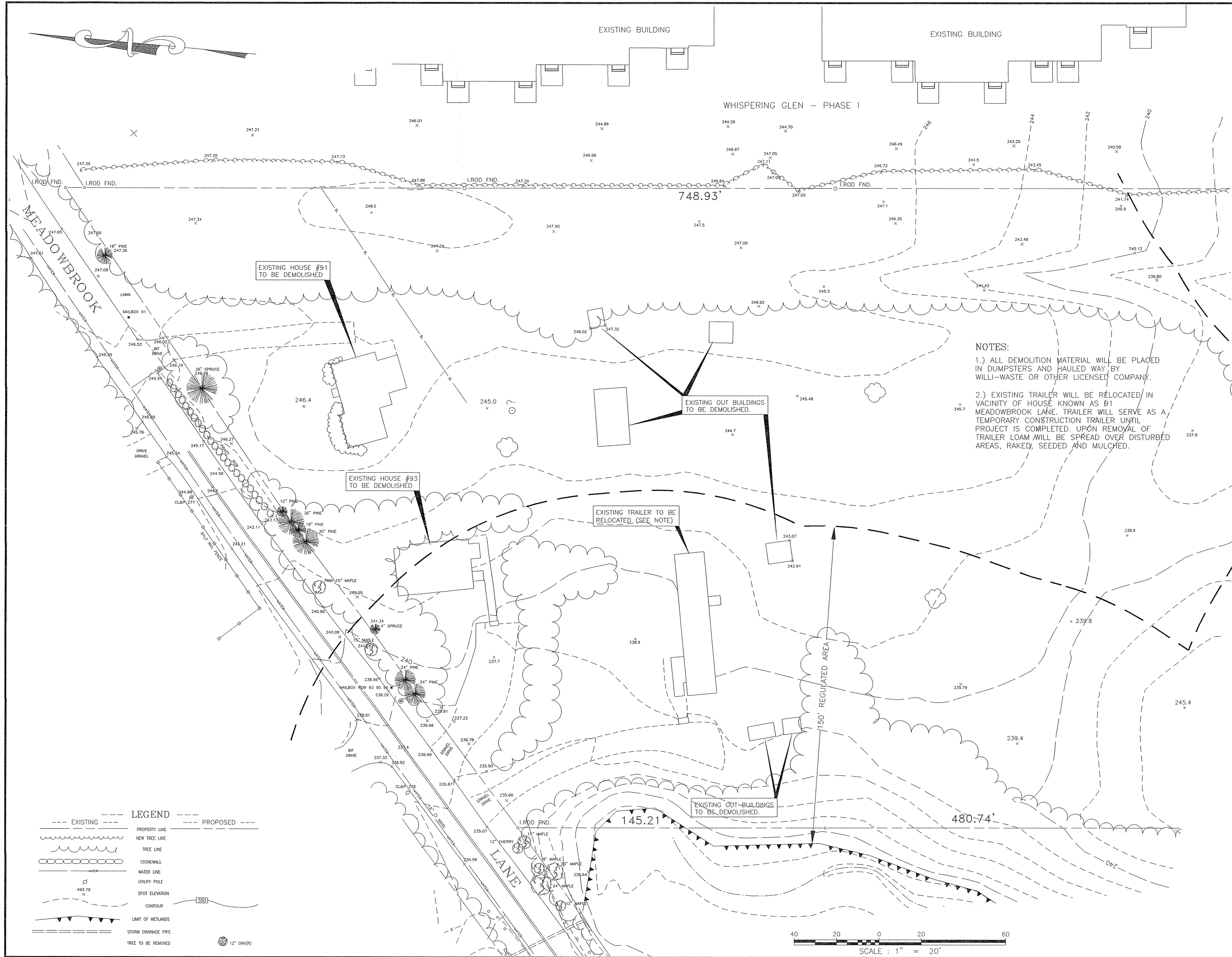


NOTES:  
1.) ALL DEMOLITION MATERIAL WILL BE PLACED IN DUMPSTERS AND HAULED AWAY BY WILLI-WASTE OR OTHER LICENSED COMPANY.  
2.) EXISTING TRAILER WILL BE RELOCATED IN VICINITY OF HOUSE KNOWN AS 91 MEADOWBROOK LANE. TRAILER WILL SERVE AS A TEMPORARY CONSTRUCTION TRAILER UNTIL PROJECT IS COMPLETED. UPON REMOVAL OF TRAILER LOAM WILL BE SPREAD OVER DISTURBED AREAS, RAKED, SEEDED AND MULCHED.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE DIRECTOR OF HEALTH  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE DIRECTOR OF PUBLIC WORKS  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEMOLITION PLAN  
PREPARED FOR  
**UNIGLOBE INVESTMENTS, LLC**  
91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: 1" = 20' DATE: OCTOBER 12, 2015

SHEET 3 OF 10  
**DATUM** ENGINEERING & SURVEYING, LLC  
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JOB NO. 215049  
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2.) EXISTING TRAILER WILL BE RELOCATED IN VICINITY OF HOUSE KNOWN AS B1 MEADOWBROOK LANE. TRAILER WILL SERVE AS A TEMPORARY CONSTRUCTION TRAILER UNTIL PROJECT IS COMPLETED. UPON REMOVAL OF TRAILER LOAM WILL BE SPREAD OVER DISTURBED AREAS, RAKED, SEEDED AND MULCHED.

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE DIRECTOR OF HEALTH  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE DIRECTOR OF PUBLIC WORKS  
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DEMOLITION PLAN  
PREPARED FOR  
**UNIGLOBE INVESTMENTS, LLC**  
91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: 1" = 20' DATE: JANUARY 8, 2016

**DATUM** ENGINEERING & SURVEYING, LLC

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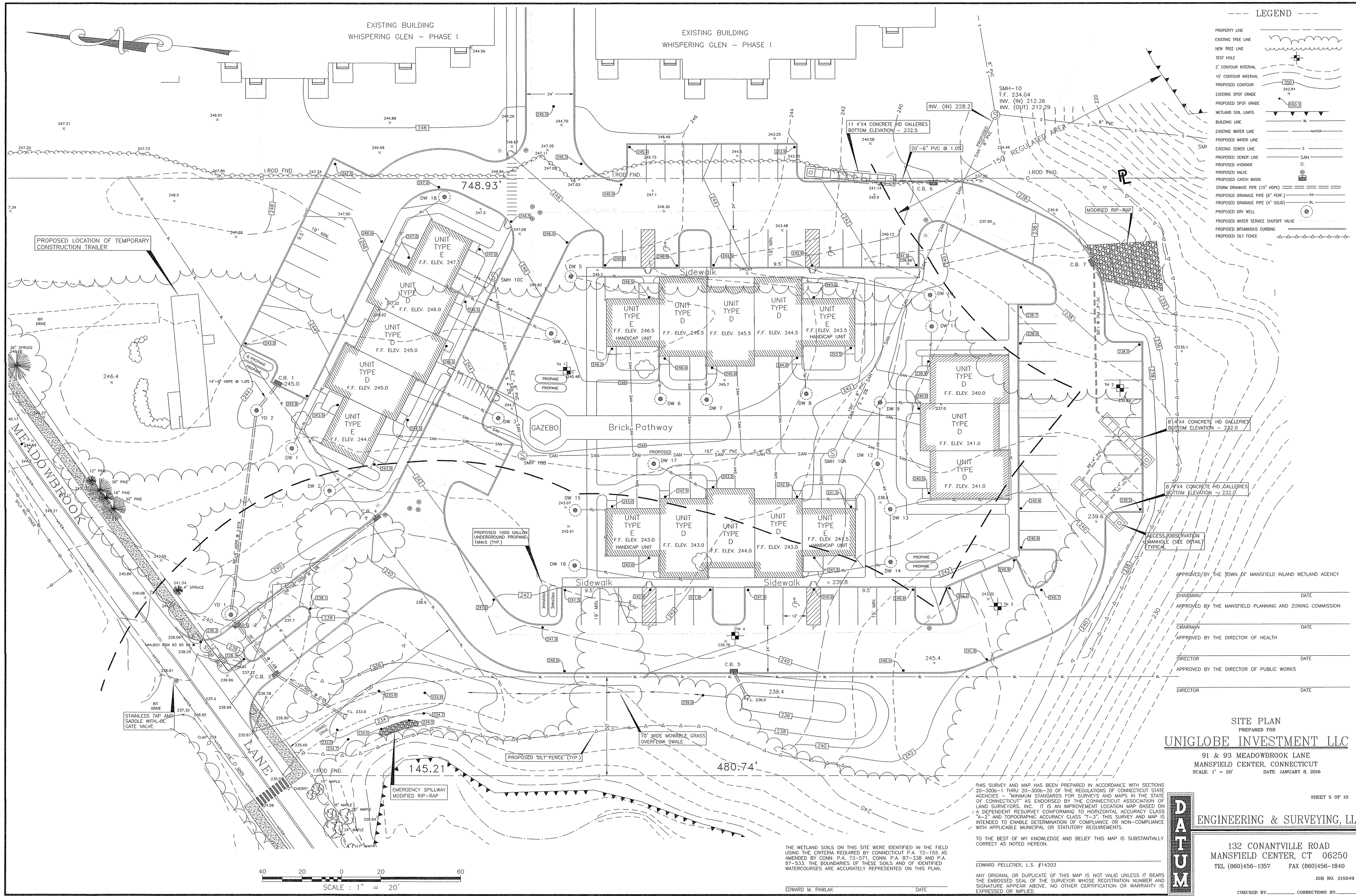
SHEET 4 OF 10

JOB NO. 215049

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LEGEND  
--- EXISTING ---  
--- PROPOSED ---  
PROPERTY LINE  
NEW TREE LINE  
TREE LINE  
STONEWALL  
WATER LINE  
UTILITY POLE  
SPOT ELEVATION  
CONTOUR  
LIMIT OF WETLANDS  
STORM DRAINAGE PIPE  
TREE TO BE REMOVED

SCALE: 1" = 20'



- LEGEND ---
- PROPERTY LINE
  - EXISTING TREE LINE
  - NEW TREE LINE
  - TEST HOLE
  - 2' CONTOUR INTERVAL
  - 10' CONTOUR INTERVAL
  - PROPOSED CONTOUR
  - EXISTING SPOT GRADE
  - PROPOSED SPOT GRADE
  - WETLAND SOIL LIMITS
  - BUILDING LINE
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING SEWER LINE
  - PROPOSED SEWER LINE
  - PROPOSED HYDRANT
  - PROPOSED VALVE
  - PROPOSED CATCH BASIN
  - STORM DRAINAGE PIPE (15" HOPE)
  - PROPOSED DRAINAGE PIPE (6" PERF.)
  - PROPOSED DRAINAGE PIPE (4" SOLID)
  - PROPOSED DRY WELL
  - PROPOSED WATER SERVICE SHUTOFF VALVE
  - PROPOSED BITUMINOUS CURBING
  - PROPOSED SILT FENCE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY \_\_\_\_\_ DATE \_\_\_\_\_

CHAIRMAN/ \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION \_\_\_\_\_

CHAIRMAN/ \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF HEALTH \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF PUBLIC WORKS \_\_\_\_\_

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

SITE PLAN  
PREPARED FOR  
**UNIGLOBE INVESTMENT LLC**  
91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: 1" = 20' DATE: JANUARY 8, 2016

SHEET 5 OF 10

**DATEUM**  
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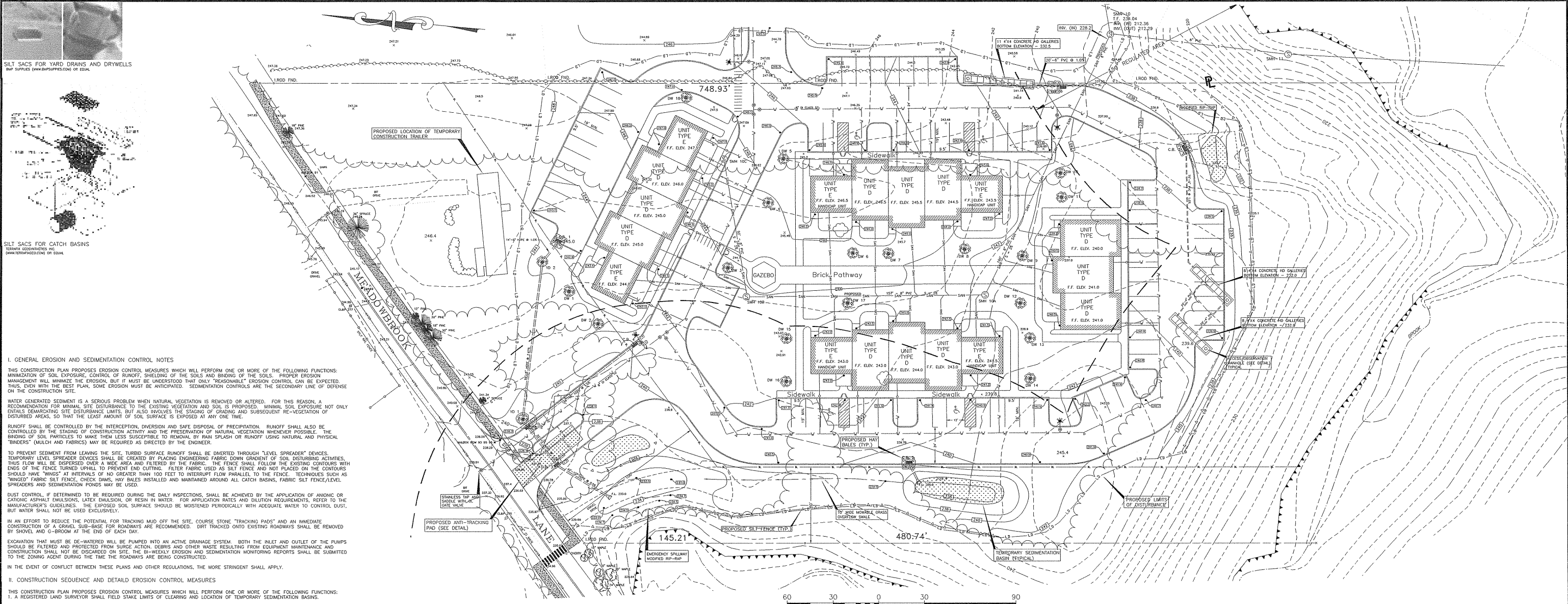
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EDWARD M. PAWLAK \_\_\_\_\_ DATE \_\_\_\_\_

THE WETLAND SOILS ON THIS SITE WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY CONN. P.A. 73-571, CONN. P.A. 87-338 AND P.A. 87-533. THE BOUNDARIES OF THESE SOILS AND OF IDENTIFIED WATERCOURSES ARE ACCURATELY REPRESENTED ON THIS PLAN.







I. GENERAL EROSION AND SEDIMENTATION CONTROL NOTES

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: MINIMIZATION OF SOIL EXPOSURE, CONTROL OF RUNOFF, SHIELDING OF THE SOILS AND BINDING OF THE SOILS. PROPER EROSION MANAGEMENT WILL MINIMIZE THE EROSION, BUT IT MUST BE UNDERSTOOD THAT ONLY "REASONABLE" EROSION CONTROL CAN BE EXPECTED. THUS, EVEN WITH THE BEST PLAN, SOME EROSION MUST BE ANTICIPATED. SEDIMENTATION CONTROLS ARE THE SECONDARY LINE OF DEFENSE ON THE CONSTRUCTION SITE.

WATER GENERATED SEDIMENT IS A SERIOUS PROBLEM WHEN NATURAL VEGETATION IS REMOVED OR ALTERED. FOR THIS REASON, A RECOMMENDATION FOR MINIMAL SITE DISTURBANCE TO THE EXISTING VEGETATION AND SOIL IS PROPOSED. MINIMAL SOIL EXPOSURE NOT ONLY ENTAILS DEBARKING SITE DISTURBANCE LIMITS, BUT ALSO INVOLVES THE STAGING OF GRADING AND SUBSEQUENT RE-VEGETATION OF DISTURBED AREAS, SO THAT THE LEAST AMOUNT OF SOIL SURFACE IS EXPOSED AT ANY ONE TIME.

RUNOFF SHALL BE CONTROLLED BY THE INTERCEPTION, DIVERSION AND SAFE DISPOSAL OF PRECIPITATION. RUNOFF SHALL ALSO BE CONTROLLED BY THE STAGING OF CONSTRUCTION ACTIVITY AND THE PRESERVATION OF NATURAL VEGETATION WHENEVER POSSIBLE. THE BINDING OF SOIL PARTICLES TO MAKE THEM LESS SUSCEPTIBLE TO REMOVAL BY RAIN SPLASH OR RUNOFF USING NATURAL AND PHYSICAL "BINDERS" (MULCH AND FABRICS) MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.

TO PREVENT SEDIMENT FROM LEAVING THE SITE, TURBID SURFACE RUNOFF SHALL BE DIVERTED THROUGH "LEVEL SPREADER" DEVICES. TEMPORARY LEVEL SPREADER DEVICES SHALL BE CREATED BY PLACING ENGINEERING FABRIC DOWN GRADIENT OF SOIL DISTURBING ACTIVITIES. THIS FLOW WILL BE DISPERSED OVER A WIDE AREA AND FILTERED BY THE FABRIC. THE FENCE SHALL FOLLOW THE EXISTING CONTOURS WITH ENDS OF THE FENCE TURNED UPHILL TO PREVENT END CUTTING. FILTER FABRIC USED AS SILT FENCE AND NOT PLACED ON THE CONTOURS SHOULD HAVE "WINGS" AT INTERVALS OF NO GREATER THAN 100 FEET TO INTERRUPT FLOW PARALLEL TO THE FENCE. TECHNIQUES SUCH AS "WINGED" FABRIC SILT FENCE, CHECK DAMS, HAY BALES INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS, FABRIC SILT FENCE/LEVEL SPREADERS AND SEDIMENTATION PONDS MAY BE USED.

DUST CONTROL, IF DETERMINED TO BE REQUIRED DURING THE DAILY INSPECTIONS, SHALL BE ACHIEVED BY THE APPLICATION OF ANIONIC OR CATIONIC ASPHALT EMULSIONS, LATEX EMULSION, OR RESIN IN WATER. FOR APPLICATION RATES AND DILUTION REQUIREMENTS, REFER TO THE MANUFACTURER'S GUIDELINES. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST, BUT WATER SHALL NOT BE USED EXCLUSIVELY.

IN AN EFFORT TO REDUCE THE POTENTIAL FOR TRACKING MUD OFF THE SITE, COURSE STONE "TRACKING PADS" AND AN IMMEDIATE CONSTRUCTION OF A GRAVEL SUB-BASE FOR ROADWAYS ARE RECOMMENDED. DIRT TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED BY SHOVEL AND G-BROOM AT THE END OF EACH DAY.

EXCAVATION THAT MUST BE DE-WATERED WILL BE PUMPED INTO AN ACTIVE DRAINAGE SYSTEM. BOTH THE INLET AND OUTLET OF THE PUMPS SHOULD BE PLACED AND PROTECTED FROM SURGE ACTION, DEBRIS AND OTHER WASTE RESULTING FROM EQUIPMENT MAINTENANCE AND CONSTRUCTION SHALL NOT BE DISCARDED ON SITE. THE BI-WEEKLY EROSION AND SEDIMENTATION MONITORING REPORTS SHALL BE SUBMITTED TO THE ZONING AGENT DURING THE TIME THE ROADWAYS ARE BEING CONSTRUCTED.

IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND OTHER REGULATIONS, THE MORE STRINGENT SHALL APPLY.

II. CONSTRUCTION SEQUENCE AND DETAIL EROSION CONTROL MEASURES

THIS CONSTRUCTION PLAN PROPOSES EROSION CONTROL MEASURES WHICH WILL PERFORM ONE OR MORE OF THE FOLLOWING FUNCTIONS: 1. A REGISTERED LAND SURVEYOR SHALL FIELD STAKE LIMITS OF CLEARING AND LOCATION OF TEMPORARY SEDIMENTATION BASINS.

2. UPON COMPLETION OF THE FIELD STAKING, ALL VEGETATION, INCLUDING OVERHANGING TREE LIMBS SHALL BE CHIPPED AND SUCH CHIPS SHALL BE STORED IN NON-GRADED AREAS FOR FUTURE USE AS EROSION BERMS ALONG SILT FENCING AND MULCH. EROSION AND SEDIMENT MEASURES SHALL BE INSTALLED AS APPROPRIATE PRIOR TO ANY SITE DISTURBANCE.

3. TEMPORARY STORM WATER RETENTION BASINS SHALL BE CONSTRUCTED AND SITE RUNOFF DIRECTED TOWARD THE BASINS.

4. STUMPING CAN COMMENCE AND BE GROUND INTO CHIPS. CHIPS SHALL BE STOCK PILED IN NON-GRADED AREAS. ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO STRIPPING OF THE BALANCE OF THE SITE. THIS ANTI-TRACKING PAVING SHALL BE MAINTAINED AND REPLACED AS NECESSARY.

5. TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS DEPICTED, AND MAINTAINED UNTIL STORM DRAINAGE STRUCTURES ALONG WITH EROSION AND SEDIMENTATION CONTROLS, HAY BALES, CHECK DAMS, SILT SACKS AND LEVEL SPREADERS HAVE BEEN INSTALLED.

6. ROADWAYS AND PARKING AREAS SHALL BE ROUGH GRADED, DIRECTING STORM WATER RUNOFF TOWARD THE SEDIMENTATION BASINS. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED UNTIL COMPLETION OF THE PROJECT AND SITE DISTURBANCE IS STABILIZED.

7. INSTALLATION OF THE SEWER SYSTEM FROM THE EXISTING MANHOLE ON PHASE 1 AND THEN THE WATER MAIN FROM MEADOWBROOK LANE TO THE EXISTING CONNECTION PROVIDED FOR IN PHASE 1. INDIVIDUAL WATER SERVICES SHALL BE INSTALLED AS BUILDINGS ARE CONSTRUCTED.

8. UNDERGROUND TELEPHONE, CABLE AND ELECTRIC SHALL BE INSTALLED, FOLLOWED BY THE PLACEMENT OF THE PROCESS GRAVEL BASE, BITUMINOUS PAVEMENT AND BITUMINOUS CONCRETE LIP CURBING. THE SHOULDERS OF ROADWAYS AND PARKING AREAS SHALL BE FINE GRADED, LOAMED AND SEEDED, AS SPECIFIED.

9. PERMANENT STORM WATER RECHARGE BASINS SHALL BE COMPLETED AND STABILIZED IMMEDIATELY, ALONG WITH THE RIP-RAP OVERFLOW AREA SOUTH OF CATCH BASIN 7. ALL SILT SACKS SHALL BE MAINTAINED AND CHECKED AFTER EVERY STORM EVENT UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED.

BEFORE AND AFTER EACH STORM EVENT AND ONCE EVERY DAY, ALL SEDIMENT AND EROSION CONTROLS WILL BE INSPECTED BY THE ENGINEER OR ENVIRONMENTAL SUPERVISOR. ANY CORRECTIVE MEASURES TO MITIGATE ENVIRONMENTAL CONCERNS WILL BE ORDERED AT THAT TIME. THERE WILL BE 150 FEET OF SILT FENCE WITH THE REQUIRED POSTS ON HAND FOR EMERGENCY SITUATIONS.

III. BUILDING SITE DEVELOPMENT

1. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD FOR EACH PROPOSED BUILDING. THE MAXIMUM DISTURBANCE LIMITS OF 24'-30' FEET BEYOND THE PHYSICAL DIMENSIONS OF THE BUILDING AND RELATED APPURTENANCES IS RECOMMENDED.

2. TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHALL BE STOCKPILED WITH THE AREA OF DISTURBANCE IF NOT USED FOR THE ON SITE RE-GROWING. EACH STOCKPILE SHALL BE ADEQUATELY RINGED ON THE DOWN GRADIENT SIDE WITH SEDIMENT CONTROL MATERIALS MENTIONED PREVIOUSLY.

3. ANY ADDITIONAL STOCKPILING OF LUMBER AND OTHER BUILDING MATERIALS SHALL ALSO BE CONFINED TO THE AREA OF DISTURBANCE. VEHICULAR MOVEMENT SHALL BE DIRECTED TO ESTABLISHED PARKING AREAS.

4. ONCE THE PROPOSED BUILDING IS ENCLOSED, ALL EFFORTS SHALL BE MADE TO COMPLETE ON SITE IMPROVEMENTS, SUCH AS WATER SERVICE, SEWER LATERALS, ROOF LEADER DRAINS, ETC.. THEREAFTER, AREA AROUND THE BUILDING SHALL BE FINE GRADED AND MULCHED.

IV. SEEDING AND PLANTING:

1. SEED BED PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2 INCHES IN DIAMETER FROM LAWN AREAS. APPLY LIMESTONE AT A MINIMUM RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1000 SQUARE FEET. FERTILIZE WITH 10-10-10 TO A RATE OF 300 LBS. PER ACRE OR 7.5 LBS. PER 1000 SQUARE FEET. WORK LAKE AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4 INCHES WITH A WHISK, SPRING-TOOTH HARROW OR OTHER SUITABLE EQUIPMENT FOLLOWING THE CONTOUR LINES.

2. SEED APPLICATION: APPLY GRASS SEED MIXTURE BY HAND, CYCLONE SEEDER OR HYDROSEED. INCREASE SEED MIXTURE BY 10% IF HYDROSEEDING. LIGHTLY DRAG OR TOLL THE SEEDED SURFACE TO COVER SEED. SEED SHALL CONSIST OF A MIXTURE OF KENTUCKY BLUEGRASS (10 LBS/1000 SF), CREeping RED FESCUE (10 LBS/1000 SF), AND PERENNIAL RYE GRASS (10 LBS/1000 SF). SEEDING OF PERMANENT GRASS SEED SHALL BE DONE BETWEEN APRIL 15 AND JUNE 15, OR SEPTEMBER 1 THROUGH OCTOBER 15. IN THE EVENT THAT SEEDING CANNOT BE COMPLETED DURING THE ABOVE DATES, A TEMPORARY GRASS SEED CONSISTING OF 1.0 LBS/1000 SF OF ANNUAL RYE GRASS SHALL BE APPLIED. MOISTURE CONDITIONS SHALL BE SUPPLEMENTED FOR TEMPORARY SEEDING BETWEEN JUNE 16 AND AUGUST 31.

3. MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE WHERE SLOPES EXCEED 10 PERCENT. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE OR DISH HARROW SET STRAIGHT UP. MULCH MATERIAL SHOULD BE SET INTO SOIL SURFACE APPROXIMATELY EVERY 2-3 INCHES.

V. PLAN IMPLEMENTATION

PRIOR TO THE START OF CONSTRUCTION, THERE SHALL BE A PRE-CONSTRUCTION MEETING WITH THE TOWN ZONING AGENT, THE TOWN WETLANDS AGENT, THE SITE CONTRACTOR AND THE CONTRACTOR'S PROFESSIONAL SOIL EROSION AND SEDIMENT CONTROL SPECIALIST TO DISCUSS THE PLAN, INSPECTION PROCEDURES AND REPORT REQUIREMENTS.

REGULAR INSPECTION OF THE SITE SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND A SEDIMENT AND EROSION MONITORING REPORT MAY BE REQUIRED BY THE TOWN OF MANSFIELD ZONING AGENT AND INLAND WETLAND AGENT AS DEEMED NECESSARY.

DURING CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF ROBERT MAGI (TEL. NO. (203) 692-5222) TO ENSURE THE IMPLEMENTATION OF THIS SEDIMENT & EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE OBJECTIVES OF THE PLAN, NOTIFYING THE WETLAND AGENT OR HIS DESIGNATE OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF AND WHEN SUCH TRANSFER IS APPROPRIATE. ANY MATERIAL REMOVED FROM SITE AND DEPOSITED IN MANSFIELD MUST BE IN FULL COMPLIANCE WITH APPLICABLE ZONING AND INLAND WETLAND REQUIREMENTS.

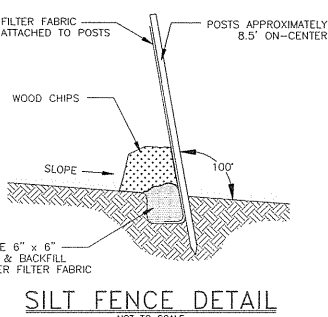
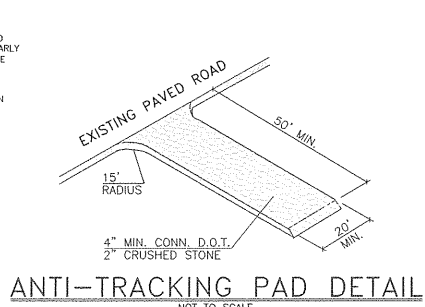
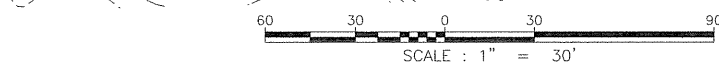
VI. STORM WATER MANAGEMENT PLAN

ONCE CONSTRUCTION IS COMPLETE AND LAWNS AND DISTURBED AREAS FULLY STABILIZED, SOIL EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCE AND HAY BALES MAY/SHALL BE REMOVED AT WHICH TIME THIS STORMWATER MANAGEMENT PLAN SHALL BE IMPLEMENTED.

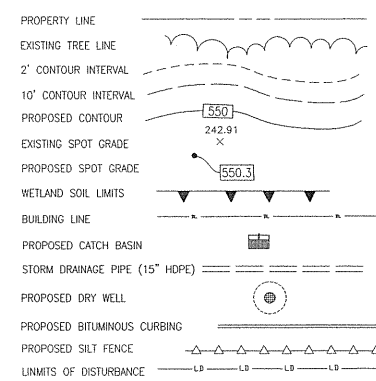
CATCH BASINS AND LAWN DRAINS SHALL BE FITTED WITH "SILT SACKS" OR EQUIVALENT GEOSYNTHETIC FILTER FABRICS TO PREVENT SILTATION OR CLOGGING OF CATCH BASIN SUMPS AND DRYWELLS. SUCH FILTERS SHALL BE INSPECTED REGULARLY (SUCH AS AT TIMES OF LAWN MOWING) AND EMPTIED AND OR REPLACED AS NECESSARY. INFILTRATION BASINS SHALL BE MAINTAINED AS LAWNS, MOWED REGULARLY AND KEPT FREE OF TREES, BRUSH OR BRAMBLES.

BOTH FILTER FABRIC SYSTEMS AND INFILTRATION AREAS BEAR CLOSE MONITORING ESPECIALLY IMMEDIATELY AFTER IMPLEMENTATION. MAINTENANCE AND INSPECTION INTERVALS SHOULD BE ADJUSTED AS NECESSARY BASED ON INSPECTION RESULTS, AND A LOG OF INSPECTION DATES AND RESULTS SHOULD BE MAINTAINED.

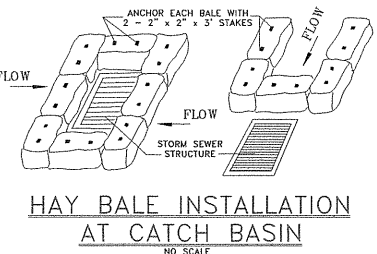
EDWARD PELLETIER, L.S. #14203  
ANTICIPATED START DATE: JUNE, 2016 COMPLETION DATE: JANUARY, 2017



--- LEGEND ---



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY	
CHAIRMAN	DATE
APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION	
CHAIRMAN	DATE
APPROVED BY THE DIRECTOR OF HEALTH	
DIRECTOR	DATE
APPROVED BY THE DIRECTOR OF PUBLIC WORKS	
DIRECTOR	DATE



EROSION, SEDIMENTATION & MAINTENANCE PLAN

PREPARED FOR

UNIGLOBE INVESTMENT LLC

91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: 1" = 30' DATE: JANUARY 8, 2016

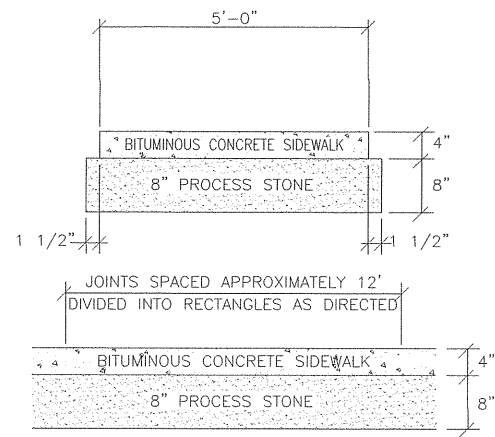
SHEET 6 OF 10

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A  
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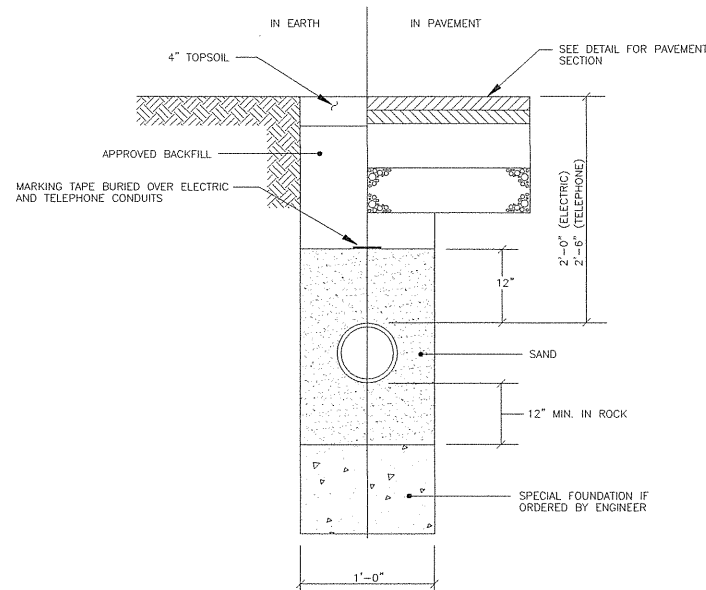
ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD  
MANSFIELD CENTER, CT 06250  
TEL (860)456-1357 FAX (860)456-1840  
JOB NO. 215049

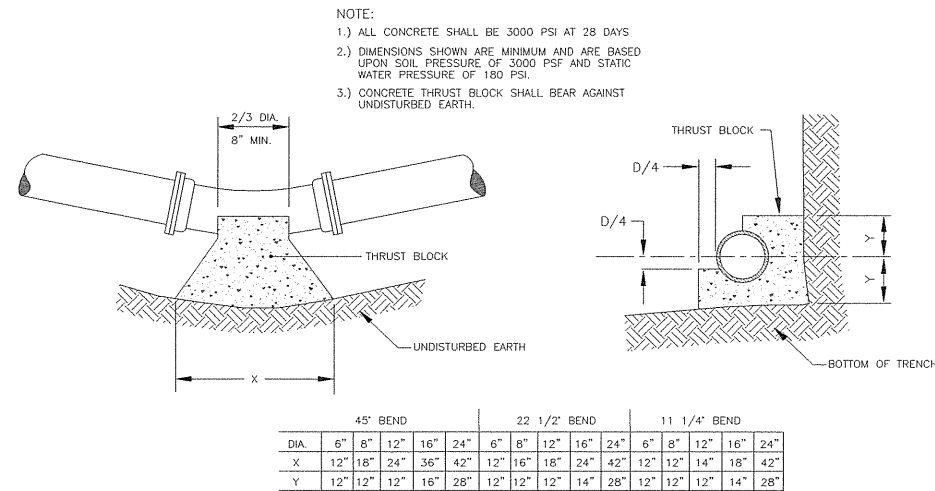
CHECKED BY: \_\_\_\_\_ CORRECTIONS BY: \_\_\_\_\_



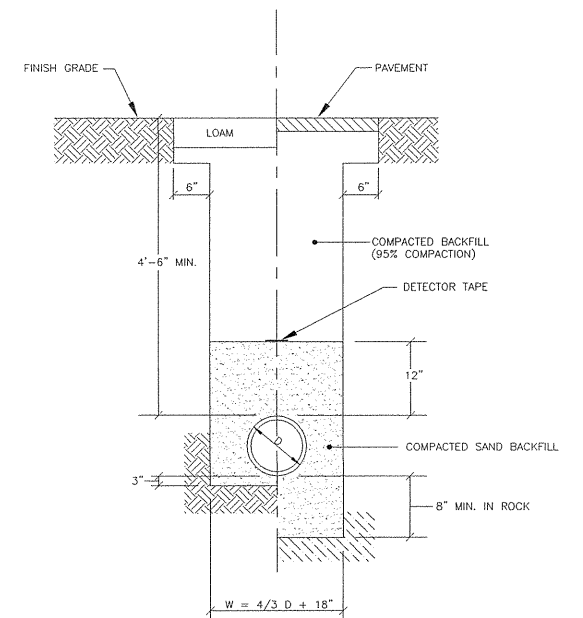
5' BITUMINOUS CONCRETE SIDEWALK  
NO SCALE



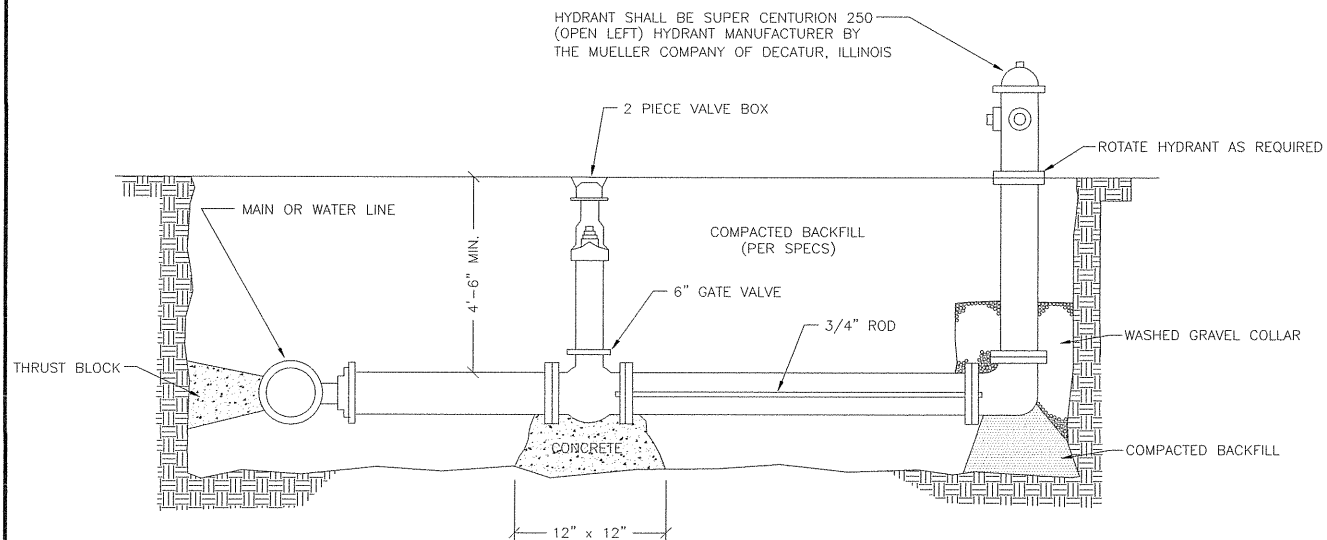
ELECTRICAL & TELEPHONE PVC  
CONDUIT TRENCH DETAIL  
NOT TO SCALE



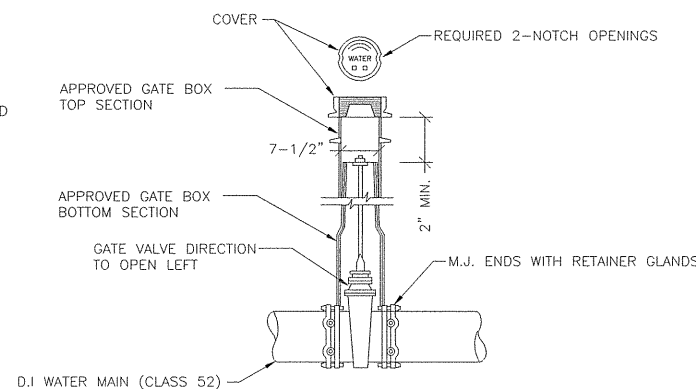
THRUST BLOCK DETAIL  
NOT TO SCALE



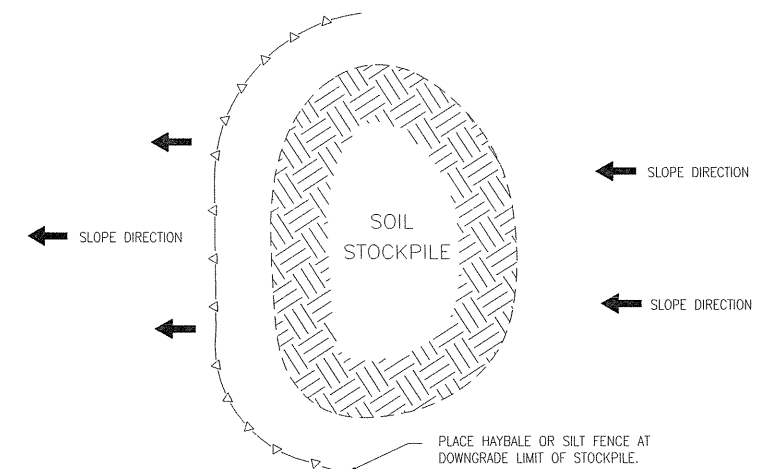
TYPICAL WATER MAIN TRENCH DETAIL  
NOT TO SCALE



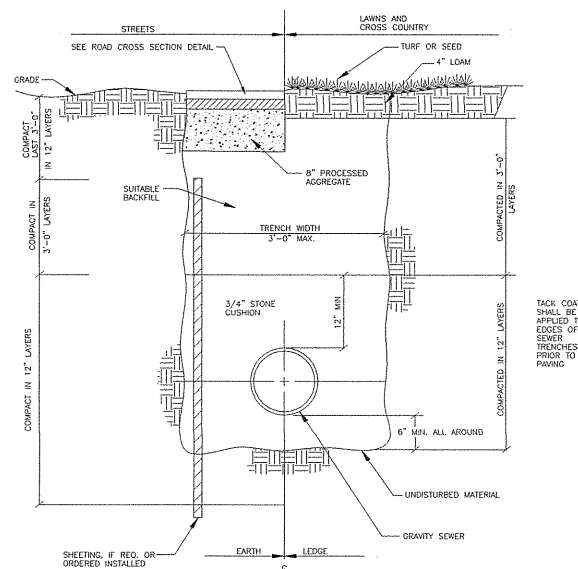
FIRE HYDRANT ASSEMBLY  
NO SCALE



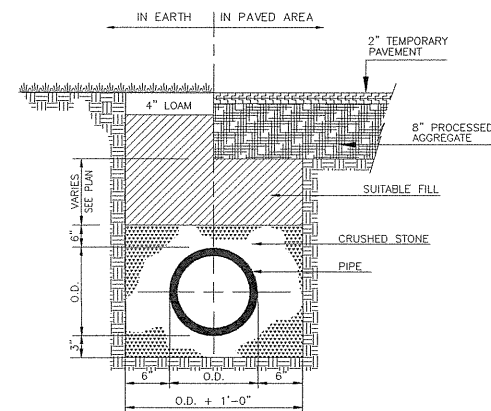
12" OR LESS VERTICAL GATE VALVE  
AND GATE BOX (OPEN LEFT)  
NO SCALE



STOCKPILE EROSION PROTECTION DETAIL  
NOT TO SCALE



TYPICAL GRAVITY SEWER TRENCH SECTION DETAIL  
NOT TO SCALE



STORM SEWER TRENCH SECTION  
NO SCALE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

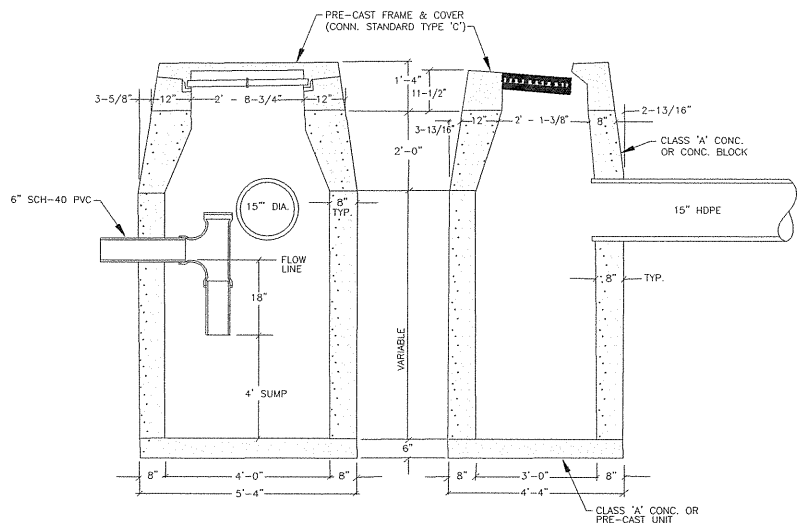
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DETAIL SHEET  
PREPARED FOR  
**UNIGLOBE INVESTMENT LLC**  
91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: AS NOTED DATE: JANUARY 8, 2016

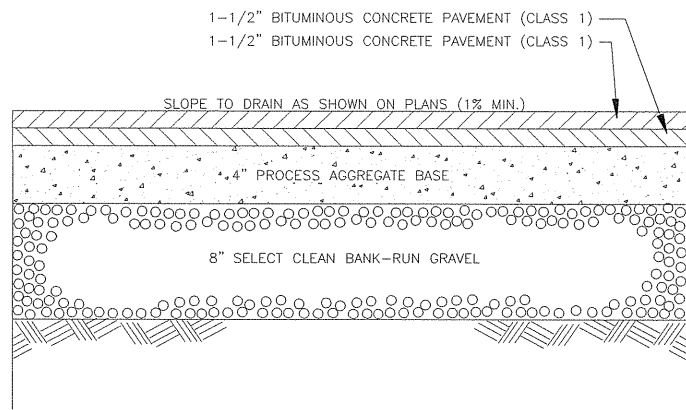
**DATUM**  
ENGINEERING & SURVEYING, LLC  
132 CONANTVILLE ROAD  
MANSFIELD CENTER, CT 06250  
TEL (860)456-1357 FAX (860)456-1840  
JOB NO. 215049

CHECKED BY: \_\_\_\_\_ CORRECTIONS BY: \_\_\_\_\_

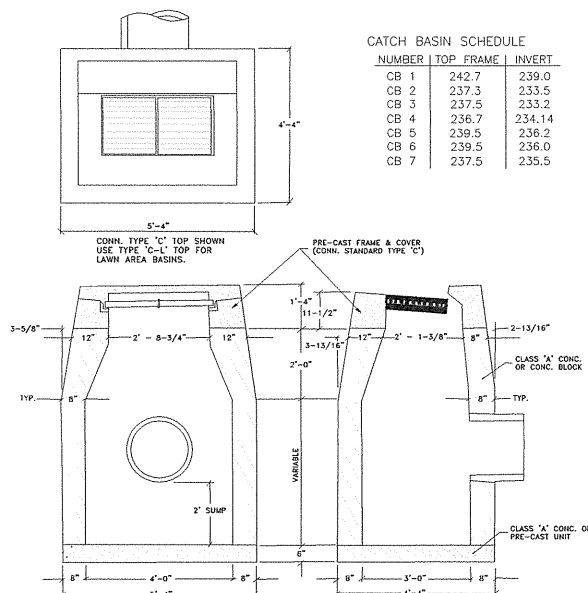
SHEET 7 OF 10



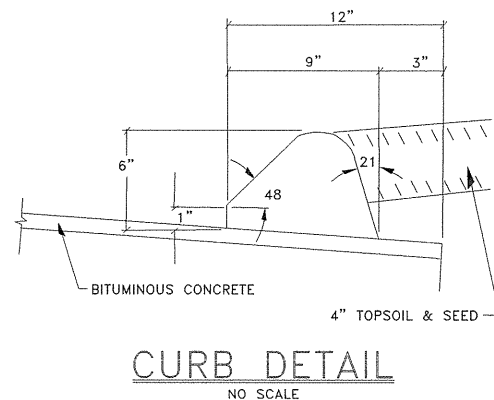
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CATCH BASIN**  
NO SCALE



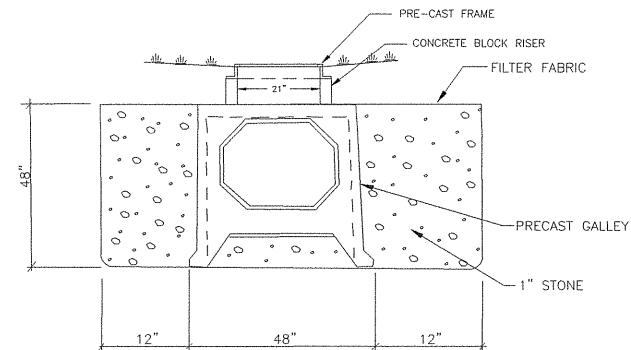
**PAVEMENT DETAIL**  
NOT TO SCALE



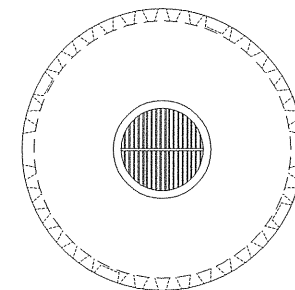
**CONN. STATE STANDARD  
CATCH BASIN**  
NO SCALE



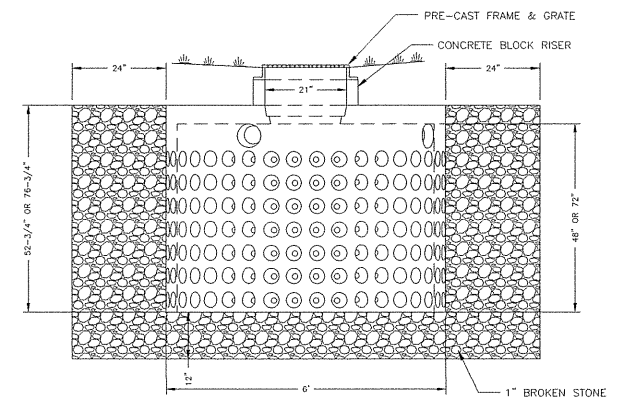
**CURB DETAIL**  
NO SCALE



**GALLERY CROSS SECTION**  
NO SCALE



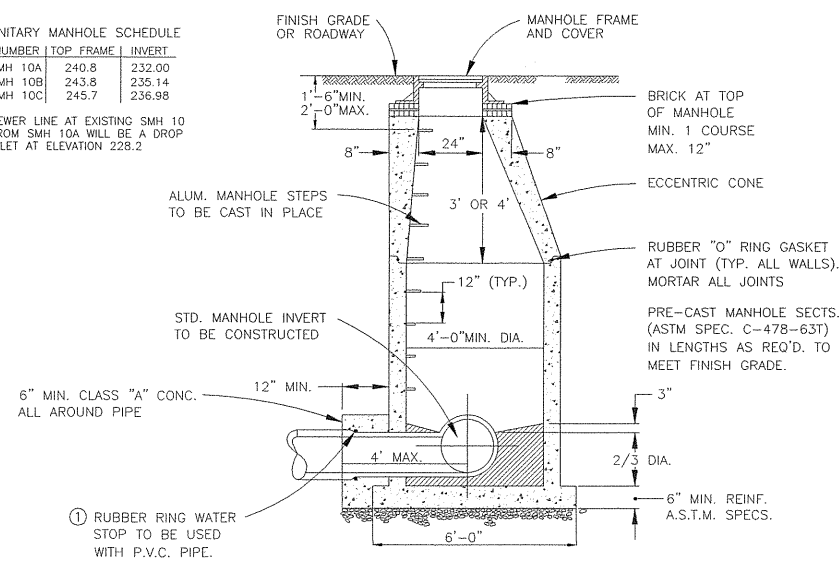
DRY WELL/YARD DRAIN SCHEDULE				
NUMBER	SIZE	TOP FRAME	BOTTOM ELEV.	INVERT
DW 1	6'Dx4'H	242.8	237.6	—
DW 2	6'Dx4'H	242.1	236.9	—
DW 3	6'Dx6'H	242.8	235.4	—
DW 4	6'Dx4'H	242.1	236.9	—
DW 5	6'Dx4'H	246.0	240.8	—
DW 6	6'Dx4'H	244.8	239.6	—
DW 7	6'Dx4'H	244.0	238.8	—
DW 8	6'Dx4'H	242.8	237.6	—
DW 9	6'Dx6'H	239.0	230.1	235.64
DW 10	6'Dx6'H	239.0	231.6	237.14
DW 11	6'Dx6'H	239.5	231.6	237.14
DW 12	6'Dx6'H	240.0	231.1	236.64
DW 13	6'Dx6'H	240.0	231.1	236.64
DW 14	6'Dx6'H	240.5	230.1	235.64
DW 15	6'Dx4'H	242.3	237.1	—
DW 16	6'Dx4'H	241.8	236.4	—
DW 17	6'Dx4'H	242.0	236.8	—
DW 18	6'Dx4'H	247.3	242.1	—
YD 1	6'Dx6'H	237.8	230.4	236.20
YD 2	6'Dx6'H	242.5	235.1	238.86



**PRECAST DRYWELL/YARD DRAIN**  
NO SCALE

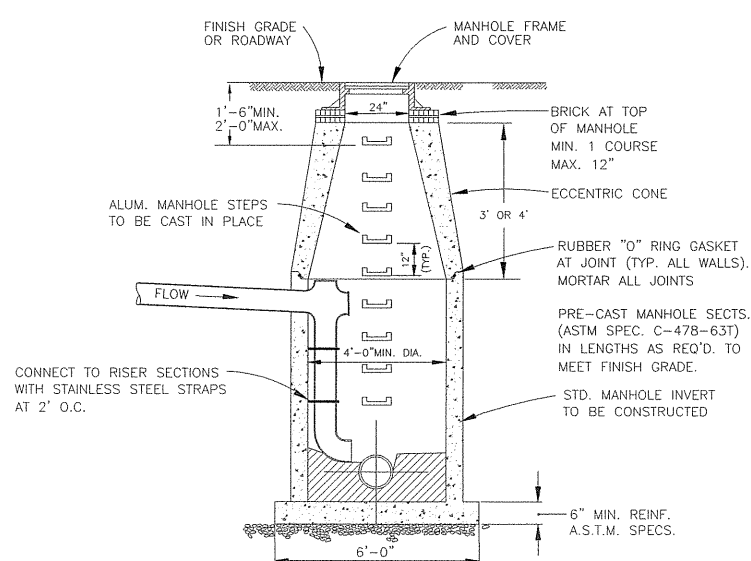
SANITARY MANHOLE SCHEDULE		
NUMBER	TOP FRAME	INVERT
SMH 10A	240.8	232.00
SMH 10B	243.8	235.14
SMH 10C	245.7	236.98

SEWER LINE AT EXISTING SMH 10 FROM SMH 10A WILL BE A DROP INLET AT ELEVATION 228.2



**PRECAST MANHOLE DETAIL**  
NOT TO SCALE

- MANHOLE SHALL BE WATERTIGHT. IN LIEU OF PARING, TWO COATS OF BITUMINOUS WATERPROOFING MAY BE BRUSHED ON OR SPRAYED ON. INERTOL, TREMCO OR APPROVED EQUAL MAY BE USED TO OBTAIN DESIRED RESULTS. DO NOT BACKFILL UNTIL LAST COAT IS DRY.



**PRECAST DROP MANHOLE DETAIL**  
NOT TO SCALE

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

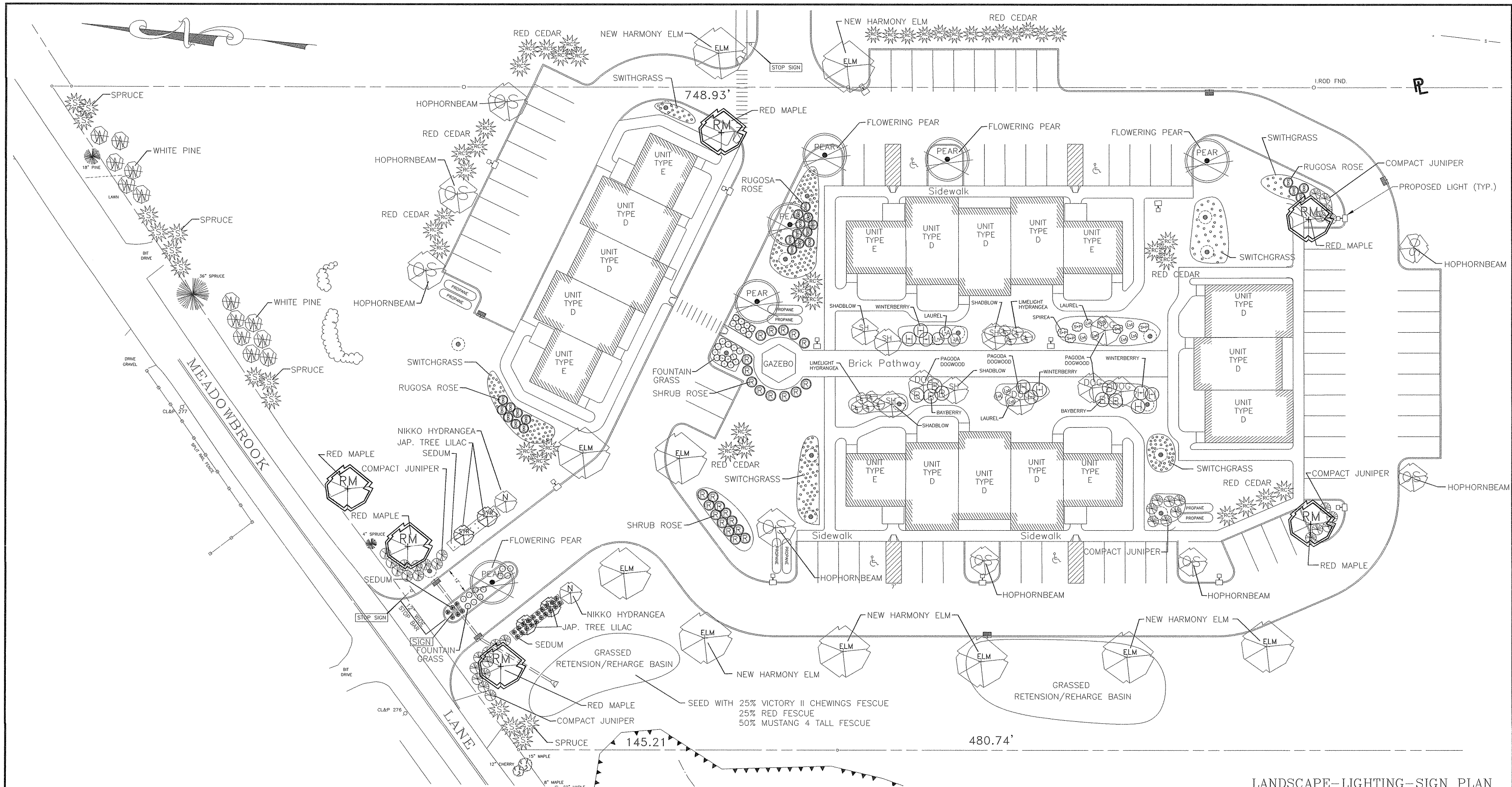
DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

DETAIL SHEET  
PREPARED FOR  
**UNIGLOBE INVESTMENT LLC**  
91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: AS NOTED DATE: JANUARY 8, 2016

**DATUM**  
ENGINEERING & SURVEYING, LLC  
132 CONANTVILLE ROAD  
MANSFIELD CENTER, CT 06250  
TEL (860)456-1357 FAX (860)456-1840  
JOB NO. 215049  
CHECKED BY: \_\_\_\_\_ CORRECTIONS BY: \_\_\_\_\_

SHEET 8 OF 10





LANDSCAPE-LIGHTING-SIGN PLAN  
PREPARED FOR  
**ARTISAN DEVELOPMENT, LLC**

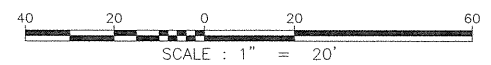
91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: 1" = 20' DATE: OCTOBER 12, 2015

SHEET 9 OF 10

**DATUM** ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD  
MANSFIELD CENTER, CT 06250  
TEL (860)456-1357 FAX (860)456-1840  
JOB NO. 215049

LANDSCAPE ARCHITECT  
J. ALEXOPOULOS, LAND. ARCH.  
CT LIC. NO. 550



APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

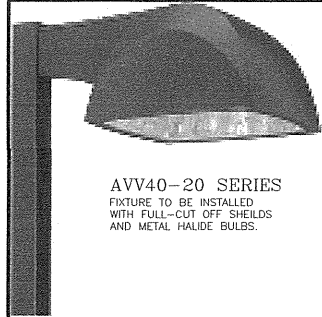
APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

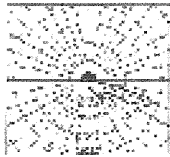
APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CHECKED BY: \_\_\_\_\_ CORRECTIONS BY: \_\_\_\_\_



AVV40-20 SERIES  
FIXTURE TO BE INSTALLED  
WITH FULL-CUT OFF SHIELDS  
AND METAL HALIDE BULBS.

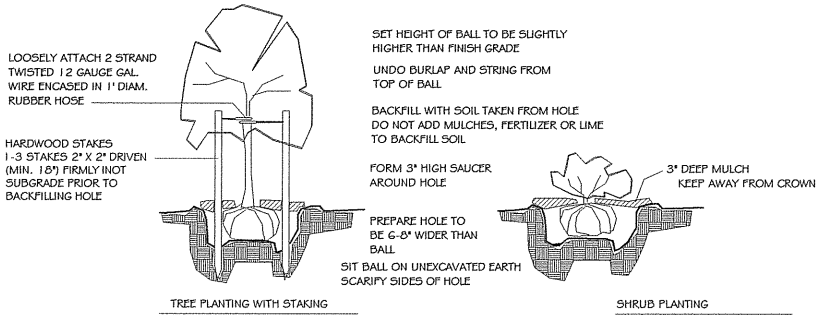


LIGHTING SERVICES INC. CERTIFIED TEST  
REPORT NO. LSI 22002 CAROLPOWER  
DISTRIBUTION CURVE OF 400W FSMT  
AERODOME LIGHT.



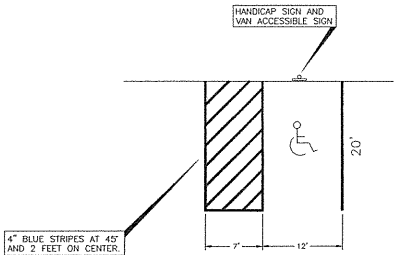
ISFOOTCANDLE PLOT OF 400W FSMT  
AERODOME LIGHT AT 30' MOUNTING HEIGHT  
(PLAN VIEW)

SITE LIGHTING  
NOT TO SCALE

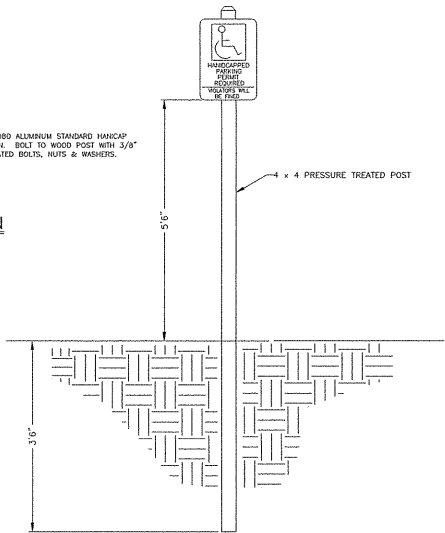


PLANTING DETAILS - NOT TO SCALE

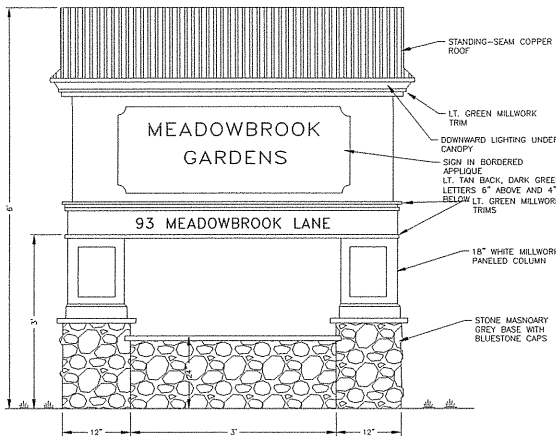
ACCESSIBLE PARKING SIGN  
NOT TO SCALE



VAN ACCESSIBLE HANDICAP  
PARKING SPACE DETAIL

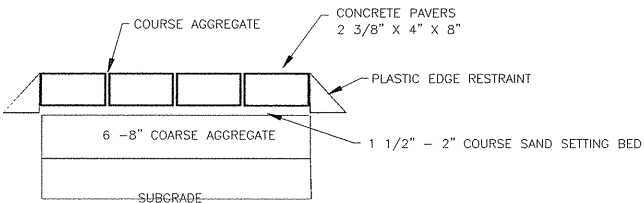


ACCESSIBLE PARKING SIGN  
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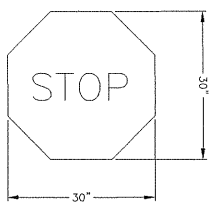


IDENTITY SIGN DETAIL

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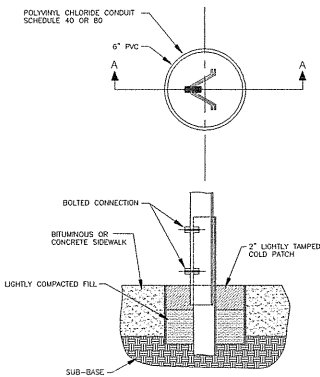


BRICK WALKWAY DETAIL  
NOT TO SCALE



STOP SIGN DETAIL

NOT TO SCALE



SECTION A-A  
SIGN POST DETAIL

NO SCALE

PLANTING SCHEDULE

Symbol Code	Name/ Scientific Name	Size	Quantity
RM	ACER RUBRUM 'COLUMNARE'/ COLUMNAR RED MAPLE	2 1/2" - 3" CAL.	6
SL	AMELANCHIER CANADENSIS/ SHADBLOW	6 - 7'	4
DOS	CORNUS ALTERNIFOLIA/ PAGODA DOGWOOD	2 1/2" - 3" CAL.	4
DS	Ostrya virginica/ HOPHORNBEAM	2 1/2" - 3" CAL.	6
PEM	pyrus calleryana 'CHANTICLEER'/ FLOWERING PEAR	2 1/2" - 3" CAL.	6
SYR	SYRINGA RETICULATA/ JAPANESE TREE LILAC	2 1/2" - 3" CAL.	2
EM	ULMUS AMERICANA 'NEW HARMONY'/ NEW HARMONY ELM	2 1/2" - 3" CAL.	10
RC	JUNIPERUS VIRGINIANA/ RED CEDAR	6 - 7'	42
W	PICEA PUNGENS/ COLORADO SPRUCE	6 - 7'	16
N	PINUS STROBUS/ WHITE PINE	6 - 7'	13
N	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'/BIGLEAF HYDRANGEA	18 - 21'	2
L	HYDRANGEA PANICULATA 'LIMELIGHT'/LIMELIGHT HYDRANGEA	18 - 21'	9
H	ILEX VERTICILLATA/ WINTERBERRY	18 - 21'	9
L+A	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	18 - 21'	37
B	KALMIA LATIFOLIA/ LAUREL	18 - 21'	11
B	MYRICA PENNSYLVANICUM/ BAYBERRY	18 - 21'	7
R	ROSA 'KNOCKOUT'/ KNOCKOUT SHRUB ROSE	18 - 21'	25
R	ROSA RUGOSA/ RUGOSA ROSE	18 - 21'	23
S+P	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	18 - 21'	4
•	PENNISETUM ALOPECUROIDES/ FOUNTAIN GRASS	2 GAL.	32
•	SEDUM 'BRILLIANT'/ SEDUM	1 GAL.	26
•	PANICUM 'RUBY RIBBONS/ SWITCHGRASS	PLUGS	255

APPROVED BY THE TOWN OF MANSFIELD INLAND WETLAND AGENCY

CHAIRMAN DATE

APPROVED BY THE MANSFIELD PLANNING AND ZONING COMMISSION

CHAIRMAN DATE

APPROVED BY THE DIRECTOR OF HEALTH

DIRECTOR DATE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS

DIRECTOR DATE

LANDSCAPE-LIGHTING-SIGN DETAILS  
PREPARED FOR

ARTISAN DEVELOPMENT, LLC

91 & 93 MEADOWBROOK LANE  
MANSFIELD CENTER, CONNECTICUT  
SCALE: AS NOTED DATE: JANUARY 8, 2016

SHEET 10 OF 10

ENGINEERING & SURVEYING, LLC

132 CONANTVILLE ROAD  
MANSFIELD CENTER, CT 06250  
TEL (860)456-1357 FAX (860)456-1840  
JOB NO. 215049

LANDSCAPE ARCHITECT

J. ALEXOPOULOS, LAND. ARCH.  
CT LIC. NO. 550

CHECKED BY: CORRECTIONS BY: